

Committee Application

Development Management Officer Report

Application ID: LA04/2020/0218/F

Date of Decision: Tuesday 21st April

Proposal:

Upgrade works to park entrance from Glenburn Road; including road widening, new visibility splays, new entrance walls and gates, tree planting, new pedestrian path and minor regrading of grass slopes.

Location:

Fullerton Park
Dunmurry
Belfast
BT19 9RR

Referral Route: Referral to the Planning Committee under Section 3.8.5 of the Scheme of Delegation – Belfast City Council Application

Recommendation: Approval Subject to Conditions

Applicant Name and Address:

Belfast City Council
9 Adelaide Street
Belfast

Agent Name and Address:

Executive Summary

Full planning permission is sought for upgrade works to the entrance of Fullerton Park in Dunmurry. These include road widening, new entrance walls and gates, tree planting, a new pedestrian path and minor regrading of grass slopes

The site is accessed from the Glenburn Road. The park comprises a children's' play park, sports pitches and a pavilion. The proposed gates measure a height of 2.35m with new entrances wall on either side of the gates at 2.5m in height. It is proposed that the vehicle access extends to a width of 6m whilst the pedestrian access is 1.4m in width. A new pedestrian path is also proposed.

The scale and nature of the development is considered acceptable. The proposal will not alter the character of the existing development as these works will facilitate an established use. The alterations to the access will allow for its safe use and provide a greater contribution to the connectivity of the area and the quality of the environment.

No third party letters of objection have been received.

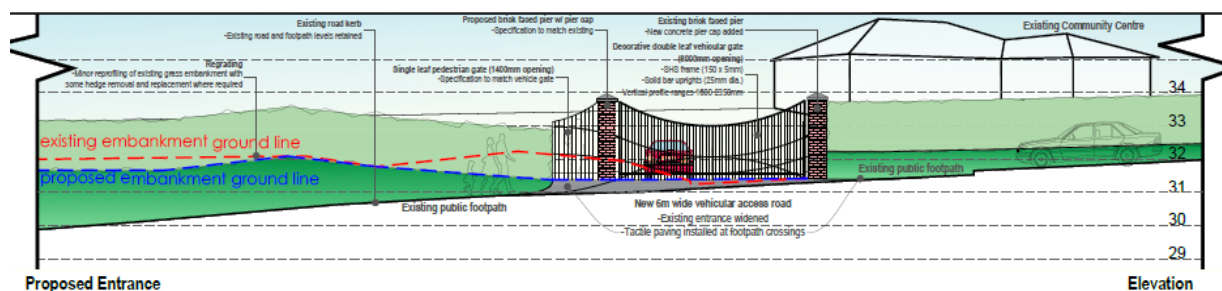
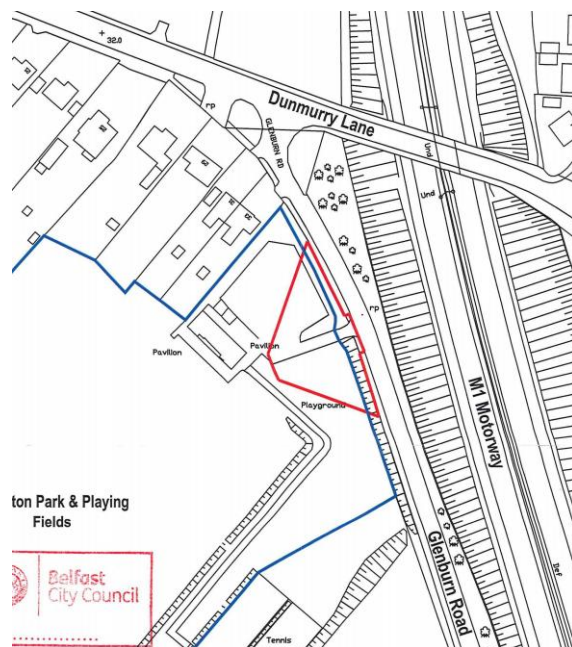
DFI Road and Tree Officer have no objection.

Recommendation

It is recommended that planning permission is granted with delegated authority given to the Director of Planning and Building Control to finalise the wording of conditions subject to no new substantive planning issues being raised by consultees and third parties.

Case Officer Report

Site Location Plan



Characteristics of the Site and Area

1.0 Description of Proposed Development

1.1 Full planning permission is sought for upgrade works to the entrance of Fullerton Park in Dunmurry. These include road widening, new entrance walls and gates, tree planting, a new pedestrian path and minor regrading of grass slopes.

2.0 Description of Site

2.1 The site is accessed from the Glenburn Road. The park comprises a children's' play park, sports pitches and a pavilion. Access to the site is restricted to one only vehicular land which is shared for pedestrian access. The front boundary of the site is defined by a 2 metre high hedge which helps provide visual amenity and screen of the site from the public road.

2.2 The site is zoned as open space within dBMAP. The surrounding area is mainly residential. There is a further sports pitch adjacent to the park while the M1 motorway runs to the east.

Planning Assessment of Policy and other Material Considerations

3.0	Site History
3.1	S/2012/0749/F, Proposed removal of existing timber fence and erection of new steel mesh fence, Fullerton Park/ Napier Park Glenburn Road, Dunmurry. Permission Granted
4.0	Policy Framework
4.1	Belfast Urban Area Plan 2001
4.2	Draft Belfast Metropolitan Area Plan 2015 Following the recent Court of Appeal decision on BMAP, the extant development plan is now the BUAP. However, given the stage at which the Draft BMAP had reached pre-adoption through a period of independent examination, the policies within the Draft BMAP still carry weight and are a material consideration in the determination of planning applications. The weight to be afforded is a matter of judgement for the decision maker.
4.3	Strategic Planning Policy Statement for Northern Ireland (SPPS)
4.4	PPS3: Access, Movement and Parking
4.5	PPS 8: Open Space, Sport and Outdoor Recreation
5.0	Statutory Consultees Responses
5.1	DFI Roads - No objections with conditions
6.0	Non-Statutory Consultees Responses
6.1	BCC Tree Officer- No objections with conditions
7.0	Representations
7.1	The application has been advertised on the 21 th February 2020 and neighbour notified on the 12 th February. No representations have been received to date.
8.0	Other Material Considerations
8.1	DCAN 15 Vehicular Access Standards
9.0	Assessment
9.1	The proposal is considered to be in compliance with the development plan.
9.2	The key issues to be considered are: - Impact on the character and appearance of the area; and, - Road Safety
9.3	The proposed decorative gates measure a height of 2.35m with new entrances wall on either side of the gates 2.5m in height. It is proposed that the vehicle access extends to a width of 6m whilst the pedestrian access is 1.4m in width. A new pedestrian path is also proposed. In terms of the trees and landscaping, a section of hedging will require be removed to construct the wider entrance, however, it is considered the removal of a

9.4	<p>section of the hedge would not detract from the overall feature and importance of the hedge. To compensate for the hedge removal, a new proposed infilling hedge will be planted, in keeping with the character of the area. The Tree Officer offered no objection to the proposal.</p> <p>The proposal is considered compliant with the relevant core planning principals within the SPPS, in that it encourages the improvement of health and well-being by providing better connections with a safe pedestrian environment as stated within paragraph 4.5 of the SPPS. The proposed access is also considered to support the good design paragraphs within the SPPS in that its makes positive use of the assets of the site by including landscaping to enhance the character of the area and will help to ensure a safer access into and out of the site for users of the site with a separate access for pedestrian and vehicular user with a more formal entrance into the site proposed.</p>
9.6 9.7 9.8	<p>Policy AMP 2 within PPS 3 states that planning permission will only be granted for a development involving the intensification of an existing access onto a public road where; there will be no prejudice to road safety, or will not significantly inconvenience the flow of traffic. There are a number of factors within Policy AMP 2 to be considered to ensure the proposal is considered acceptable. The scale and nature of the development is considered acceptable. The proposal will not alter the character of the existing development as it has already been established with the existing although restricted access. The alterations to the access will allow for its safe use and provide a greater contribution to the connectivity of the area and the quality of the environment.</p> <p>DFI Roads have been consulted and offered no objection to the proposal.</p> <p>Taking into account the location of the site and the character of the surrounding area the proposal will not have a significant adverse impact on any existing properties in terms of amenity by way of noise or disturbance.</p>
10.0 10.1	<p>Summary of Recommendation: Approval</p> <p>Having regard to the policy context and other material considerations above, the proposal is considered acceptable and planning permission is recommended for approval subject to conditions.</p>
11.0	<p>Conditions</p> <ol style="list-style-type: none"> 1. The development hereby permitted shall be begun before the expiration of 5 years from the date of this permission. <p>Reason: As required by Section 61 of the Planning Act (Northern Ireland) 2011.</p> <ol style="list-style-type: none"> 2. The access gradient shall not exceed 4% (1 in 25) over the first 10m outside the road boundary. Where the vehicular access crosses a footway or verge, the access gradient shall be between 4% (1 in 25) maximum and 2.5% (1 in 40) minimum and shall be formed so that there is no abrupt change of slope along the footway. <p>REASON: To ensure there is a satisfactory means of access in the interests of road safety and the convenience of road users.</p>

3. All redundant accesses from the site to the public road shall be permanently closed off and the footpath reinstated to the satisfaction of the Department for Infrastructure.

REASON: In order to minimise the number of access points on to the public road in the interests of road safety and the convenience of road users.

4. Pedestrian crossing points including tactile paving shall be provided at all road junctions in accordance with the DETR / Scottish Office publication "Guidance on the use of Tactile Paving Surfaces".

REASON: In the interests of pedestrian safety.

5. The vehicular access, including visibility splays of 4.5m X 40m shall be provided in accordance with the approved drawing prior to the commencement of any other works or other development hereby permitted.

REASON: To ensure there is a satisfactory means of access in the interests of road safety and the convenience of road users.

6. The area within the visibility splays and any forward sight line shall be cleared to provide a level surface no higher than 250 mm above the level of the adjoining carriageway before the development hereby permitted (is commenced/occupied/ becomes operational) and such splays shall be retained and kept clear thereafter.

REASON: To ensure there is a satisfactory means of access in the interest of road safety and the convenience of road users.

7. Prior to any work commencing all protective barriers (fencing) and ground protection is to be erected or installed as specified in British Standard 5837: 2012 (section 6.2) on any trees / hedging indicated to be retained within the site, and must be in place before any materials or machinery are brought onto site for demolition, development or soil stripping. Protective fencing must remain in place until all work is completed and all associated materials and equipment are removed from site.

Reason: To ensure the protection of, and to ensure the continuity of amenity afforded by any existing trees to be retained within the site and on adjacent lands.

8. If roots are accidentally damaged the tree council must be notified and given the opportunity to inspect the damage before it is covered over. Reason: To ensure the protection of, and to ensure the continuity of amenity afforded by existing trees / hedging.

9. No storage of materials, parking of vehicles or plant, temporary buildings, sheds, offices or fires within the RPA of trees within the site during the construction period.

Reason: To avoid compaction within the RPA

ANNEX

Valid	31.01.2020
Date First Advertised	21.02.2020
Date Last Advertised	N/A
Details of Neighbour Notification (all addresses) 33 Dunmurry Lane, Dunmurry, Dunmurry, Antrim, BT17 9RP	
Date of Last Neighbour Notification	12.02.2020
Date of EIA Determination	N/A
ES Requested	No
Drawing Numbers and Title 01 – Site Location Plan 02A – Layout Plan	
Notification to Department (if relevant) – N/A Date of Notification to Department: n/a Response of Department: n/a	
Elected Representatives: None	